

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

RECEIVED AND DEPOSITED

DATE

DATE

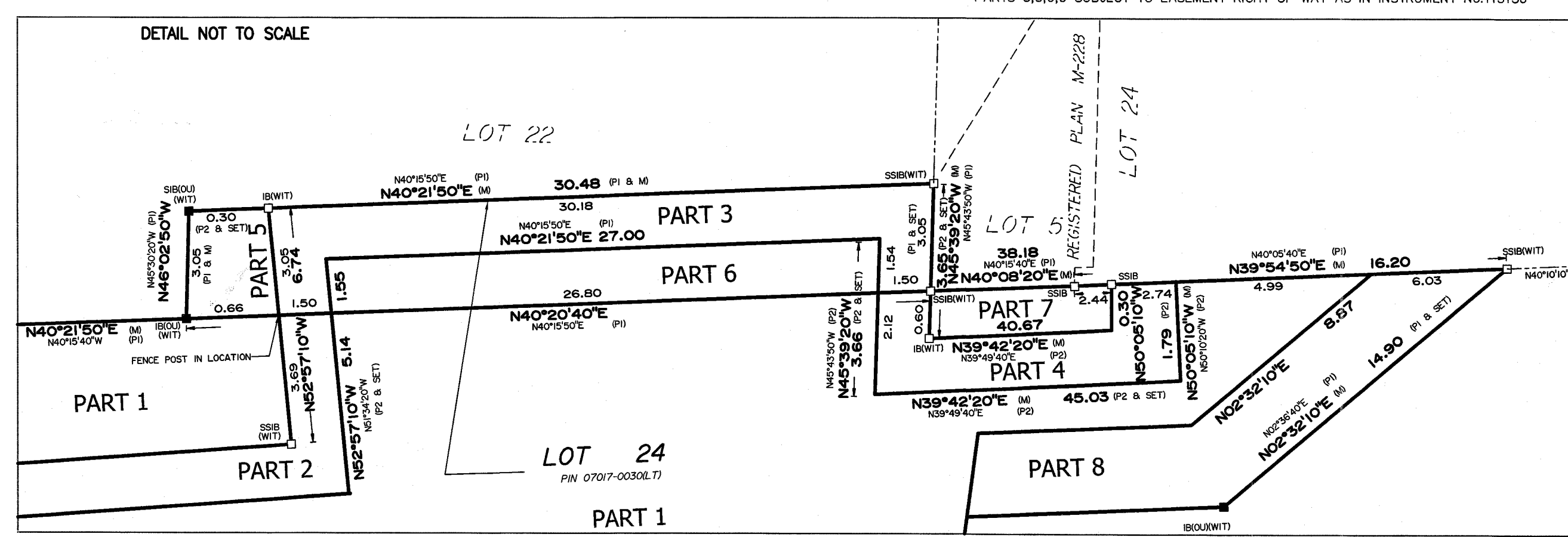
HARRY KALANTZAKOS
ONTARIO LAND SURVEYOR

REPRESENTATIVE FOR:
LAND REGISTRAR FOR THE LAND TITLES
DIVISION OF HALTON (20)

SCHEDULE

PART	LOT	PLAN	PIN No.
1			
2			
3			
4			
5			
6	PART OF 24	JUDGE'S PLAN 1233	PART OF 07017-0030(LT)
7			
8			
9			
10	PART OF 23		
11			PART OF 07017-0020(LT)
12	BLOCK B		

PART 1 SUBJECT TO EASEMENT AS IN INSTRUMENT No. 113136 & 855291
PART 2, 3, 4 SUBJECT TO EASEMENT AS IN INSTRUMENT No. 597917
PART 5 SUBJECT TO RIGHT AWAY AS IN INSTRUMENT No. 113136 & 855291
PARTS 6, 10, 11, 12 SUBJECT TO EASEMENT AS IN INSTRUMENT No. 844952
PART 11 SUBJECT TO EASEMENT AS IN INSTRUMENT No. 411130 & 844952
PART 12 SUBJECT TO EASEMENT AS IN INSTRUMENT No. 855291
PARTS 3, 5, 5.5 SUBJECT TO EASEMENT RIGHT OF WAY AS IN INSTRUMENT No. 113136



PLAN OF SURVEY OF
LOT 23, BLOCK B AND PART OF LOT 24
JUDGE'S PLAN 1233
CITY OF BURLINGTON
REGIONAL MUNICIPALITY OF HALTON

SCALE 1 : 350
ASHENHURST NOUWENS & ASSOCIATES INC.

INTEGRATION NOTE

UTM ZONE 17, CENTRAL MERIDIAN 81°00' WEST LONGITUDE, NAD83 (CSRS: 2010.0)
COORDINATES ARE TO AN URBAN ACCURACY PER SEC. 14 (2) OF ONT. REG. 216/10

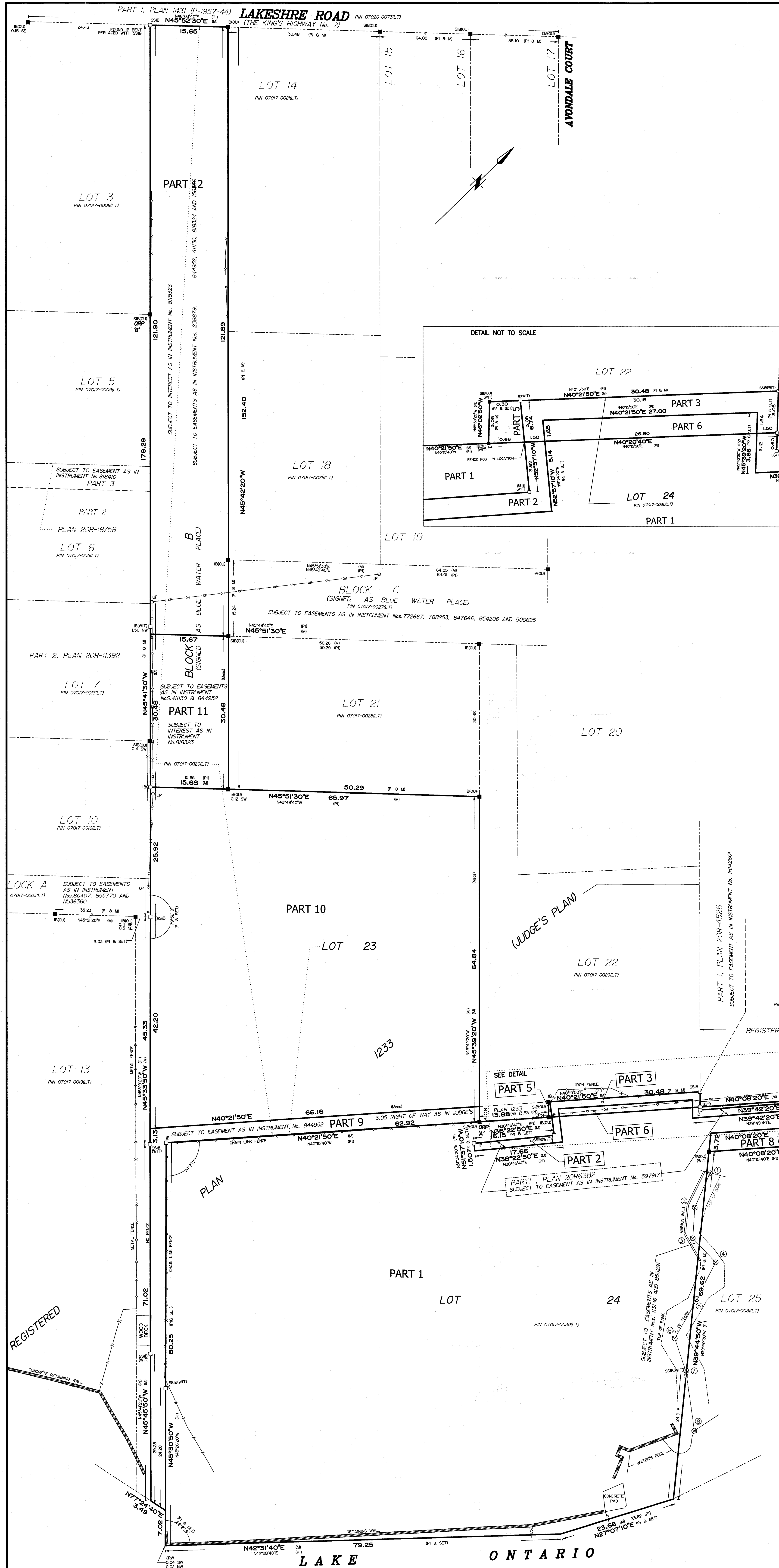
POINT ID	NORTHING	EASTING
ORP (A)	4800929.248	601362.853
ORP (B)	4800994.607	601201.526

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

BEARING NOTE
BEARINGS SHOWN HEREON ARE GRID AND ARE DERIVED FROM ORP (A) AND ORP (B) USING REAL TIME NETWORK (RTK) OBSERVATIONS, THE COORDINATES SHOWN HEREON ARE DERIVED FROM THE UNIVERSAL TRANSVERSE MERCATOR SYSTEM (6° UTM PROJECTION) ZONE 17, NAD83 (CSRS: 2010.0)
DISTANCES SHOWN HEREON ARE GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.999718
BEARINGS ON REGISTERED PLAN No. 1233, REGISTERED PLAN M-228 AND PLAN 20R-6382 HAVE BEEN ROTATED 0°52'20" COUNTER-CLOCKWISE FOR COMPARISONS

COORDINATE TABLE

POINT ID	NORTHING	EASTING
(1)	4800955.221	601402.393
(2)	4800948.238	601405.176
(3)	4800943.708	601409.26
(4)	4800943.615	601415.908
(5)	4800935.782	601418.470
(6)	4800927.150	601421.027
(7)	4800924.109	601427.306
(8)	4800917.036	601436.891



LEGEND

- DENOTES FOUND
- DENOTES PLANTED
- SIB DENOTES STANDARD IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- FP DENOTES FENCE PIPE
- IP DENOTES IRON POLE
- M DENOTES MEASURED
- OUI DENOTES ORIGIN UNKNOWN
- WIT DENOTES WITNESS
- UP DENOTES UTILITY POLE
- P1 DENOTES REGISTERED PLAN 1233 (JUDGE'S PLAN)
- ORP DENOTES OBSERVED REFERENCE POINT
- CRW DENOTES CONCRETE RETAINING WALL
- OH DENOTES OVERHEAD UTILITY

METRIC NOTE
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THIS SURVEY WAS COMPLETED ON THE 22, DAY OF FEBRUARY, 2019

DATE HARRY KALANTZAKOS
ONTARIO LAND SURVEYOR

ASHENHURST NOUWENS & ASSOCIATES INC.
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